



PORO POINT MANAGEMENT CORPORATION

A Subsidiary of the Bases Conversion and Development Authority



BIDDING DOCUMENTS FOR VARIOUS CONSTRUCTION PROJECTS UNDER PAKYAW LABOR

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PORO POINT MANAGEMENT CORPORATION

A Subsidiary of the Bases Conversion and Development Authority



INVITATION TO PAKYAW GROUPS

Notice is hereby given that this Office desires to enter into **Pakyaw (Labor Only)** for the completion of the works described in accordance with the Plans and Specifications on file at the Poro Point Management Corporation (PPMC), Governor Joaquin Ortega, Avenue, Poro, San Fernando City, La Union under the following contracts:

No.	Location	Project Title	Approved Budget for the Contract	Duration
Lot 1	PPMC Admin Building Complex, Poro Point Freeport Zone, Poro, City of San Fernando, La Union	Construction of PPMC Office/ Multi-Purpose Rooms	Php 220,462.50	45 Calendar Days
Lot 2	San Fernando Airport Terminal Building, Canaoay, City of San Fernando, La Union	Repair Works at Airport Terminal Building (Rehabilitation of Gutter and Termite Infested Areas at Pre-Departure Area)	Php 213,300.00	45 Calendar Days
Lot 3	PPMC Cottage, Poro Point Freeport Zone, Poro, City of San Fernando, La Union	Miscellaneous Repair/ Maintenance Works at the Poro Point Cottage	Php 76,700.00	25 Calendar Days

The Procurement Project consist of three (3) lots. This is a line item award wherein each Lot will be awarded to Pakyaw Groups providing the lowest price for each Lot. Bids received in excess of the ABC shall be automatically rejected at bid opening.

Bids of interested **Pakyaw Groups** must be duly received by the BAC Secretariat on or before **February 14, 2025 at 10:00 a.m.** at PPMC Administration Building, Governor Joaquin L. Ortega Avenue, Poro Point Freeport Zone, Poro, City of San Fernando, La Union. Please address your bid to the following:

BIDS AND AWARDS COMMITTEE FOR THE PROCUREMENT OF INFRASTRUCTURE PROJECTS

Poro Point Management Corporation
Gov. Joaquin L. Ortega Avenue
Poro Point Freeport Zone
Poro, City of San Fernando, La Union

Interested **Pakyaw Groups** may obtain further information from Poro Point Management Corporation (PPMC) through the BAC Secretariat and inspect the Bidding Documents at the address given below during 8:00 a.m. to 5:00 p.m.

A complete set of Bidding Documents may be acquired by interested **Pakyaw Groups** on **February 7, 2025** or until before the deadline for submission of Bids on **February 14, 2025** from the given address and website below free of charge.

Bids must be submitted in sealed envelope for manual submission at PPMC Administration Building, Governor Joaquin L. Ortega Avenue, Poro Point Freeport Zone, Poro, City of San Fernando, La Union on or before **February 14, 2025 at 10:00 am**. Bids submitted by email should be sent to the following email address: ppmcbacsecretariat@gmail.com.

Pakyaw Groups shall submit their bids separately for Lot 1, Lot 2 and Lot 3 or for Lot/s which they desire to submit their bid only. There shall be separate individuals who will be nominated for skilled and non- skilled laborers for each Lot.

Pakyaw Groups are required to submit the following documents to serve as basis for the evaluation of PPMC as described in Appendix 1, Revised Guidelines for the Implementation of Infrastructure Projects By Administration of the Updated 2016 Revised Implementing Rules and Regulations of Republic Act No. 9184:

- a. Duly Notarized Certification that the Pakyaw Group is not a Regular Licensed Contractor;
- b. List of Pakyaw Group Members; and
- c. Financial Proposal.

Please use the attached Forms.

Opening and Evaluation of bids will be on **February 14, 2025 immediately after the deadline for submission of bids.**

The Poro Point Management Corporation (PPMC) reserves the right to reject any and all bids, declare a failure of bidding, or not award the contract at any time prior to contract award in accordance with Section 41 of RA 9184 and its IRR, without thereby incurring any liability to the affected Pakyaw Groups.

For further information, please refer to:

MS. CHARLOTTE C. BANDOLIN
Head, BAC Secretariat
Poro Point Management Corporation
Gov. Joaquin L. Ortega Avenue
Poro Point Freeport Zone
Poro, City of San Fernando 2500, La Union
Mobile Number: 0945-8222-033
www.poropointfreeport.gov.ph
Email Address: ppmcbacsecretariat@gmail.com

Date: February 7, 2025

ARCH. MARC LAWRENCE P. AQUINO
BAC Chairperson for Infrastructure Projects

**DOCUMENTS FOR THE LABOR COST
OF IMPLEMENTING THE
CONSTRUCTION OF PPMC OFFICE/
MULTI-PURPOSE ROOMS**

CERTIFICATION THAT THE PAKYAW GROUP IS NOT A REGULAR LICENSED CONTRACTOR

This is to certify that the applicant for the Pakyaw (Labor) for the **Construction of PPMC Office/ Multi-Purpose Rooms** is not a Regular License Contractor and that the Pakyaw Group was formed/withdrawn from the vicinity of the project.

IN WITNESS WHEREOF, I have hereunto set my hand this ____ day of _____, 2025 at _____, Philippines

Name and Signature of the Pakyaw Group Leader

SUBSCRIBED AND SWORN to before me this ____ day of _____ 2025 at _____, Philippines. Affiant/s is/are personally known to me and was/were identified by me through competent evidence of identity as defined in the 2004 Rules on Notarial Practice (A.M. No. 02-8-13-SC). Affiant/s exhibited to me his/her _____, with his/her photograph and signature appearing thereon, with no. _____ and his/her Community Tax Certificate No. _____ issued on _____ at _____.

Witness my hand and seal this ____ day of _____ 2025.

NAME OF NOTARY PUBLIC

Serial No. of Commission _____
Notary Public for _____ until _____
Roll of Attorneys No. _____
PTR No. _____ - _____

IBP No. _____ - _____

Doc No. _____
Page No. _____
Book No. _____
Series of 2025

THE BAC CHAIRPERSON

Poro Point Management Corporation
Bids and Awards Committee

Project Title: **Construction of PPMC Office/ Multi-Purpose Rooms**

We, the undersigned, all legal age, Filipinos and members of Barangay _____ hereby apply to provide labor only and undertake the work described in the Plans and Specifications for the : **Construction of PPMC Office/ Multi-Purpose Rooms.**

We are a team of workers willing to undertake the work jointly under the Office for Infrastructure Management.

This will also authorize _____ who has been elected as Pakyaw Group Leader to make representations, signed documents and receive payments for and in behalf of the group.

Name of Worker	Type of Labor (Skilled/ Semi-skilled/ Unskilled)	Address of Residence	Signature

Please add rows if necessary.

Note: Pakyaw Group shall submit Community Tax Certificate/ Cedula of each worker within 3 days from receipt of the Pakyaw Agreement.

Submitted by:

Name and Signature of the Pakyaw Group Leader

FINANCIAL BID FORM

We, the undersigned, offer to provide Pakyaw (Labor) for the **Construction of PPMC Office/ Multi-Purpose Rooms** with the following details:

Contract Name: **Construction of PPMC Office/ Multi-Purpose Rooms**

Contract Location: Poro Point Freeport Zone, Gov. Joaquin L. Ortega Avenue, Poro point, City of San Fernando, La Union

Duration: 45 Calendar Days

Scope of Work	Estimated Quantity	Unit	Unit Price	Total
Siteworks	18	sqm		
Concrete pouring of ground floor slab	4	cu.m.		
CHB laying	75	sqm		
Roof framing fabrication	47	sqm		
Roofing installation	47	sqm		
Plastering Works	150	sqm		
Ceiling works	32	sqm		
Installation of doors	9	sets		
Painting works (Interior walls, Exterior walls, ceiling and roof frames)	150	sqm		
Fabrication of kitchen counter and cabinet	2	sets		
Tileworks	58.2	sqm		
Formworks and scaffolds	1	lot		
Construction of Septic tank	7.8	cu.m.		
Installation of water line, drainage line and sewer line	40	sqm		
Installation of plumbing fixtures & accessories (kitchen sinks, lavatories, water closets and showers)	8	sets		

TOTAL AMOUNT OF BID (in Figures)	
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TOTAL AMOUNT OF BIDS IN WORDS

The prices for the above-described work are indicated above. I/we agree to the conditions and period of time of completion of work as stated above.

Name and Signature of the Pakyaw Group Leader

SPECIFICATIONS FOR THE CONSTRUCTION OF PPMC OFFICE/ MULTI-PURPOSE ROOMS

GENERAL PROVISIONS

The works to be executed under this contract covers the Construction of PPMC Office/ Multi-purpose Rooms. The Pakyaw Group shall provide all the necessary corresponding labor to complete the work required by the plans and specifications. This specification sets out the basic standard and quality of workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.

A. SITE WORKS

1. SITE PREPARATION

The Pakyaw Group shall take all necessary steps during site preparation, clearing to protect adjoining structures, footpath, etc. Site clearing shall be carried out in such a manner as to cause a little inconvenience as possible to public and to safeguard the public safety at all times. Clear site for all debris and haul out before construction. It is the responsibility of the Pakyaw Group to haul debris materials out of the site and transfer it to a suitable location. Gridlines shall be plotted on site and staking should be done under the supervision of the PPMC Representative.

B. EARTHWORKS, EXCAVATION AND FILLS

1. SCOPE

- 1.1 Pakyaw group shall perform labor to complete the earthworks, excavation and fills (backfilling to site grading).
- 1.2 See drawing for location and extent of work required.

2. BACKFILLING AND GRADING

- 2.1 When the concrete work is hard enough to resist pressure resulting from fill, the materials from excavation shall be used for backfilling around them. This filling shall be placed in layers not exceeding six (6) inches in thickness, each layer being thoroughly compacted by tamping or rolling until the correct grades and ninety percent (90%) compaction are reached.

C. CONCRETE WORKS

1. SCOPE

- 1.1 The Pakyaw Group shall provide all the corresponding labor to complete the concrete works required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.
- 1.2 See drawing for location and extent of work required.

2. CAST-IN-PLACE CONCRETE

2.1 DESIGN

- a. Concrete mix design shall have a minimum compressive strength of 3000 psi at 28 days; and

2.2 EXECUTION

- a. Forms and reinforcement shall be inspected, checked and approved before concrete is placed;
- b. Surface shall be thoroughly wet and grouted before concreting;
- c. Curing shall be done by keeping concrete excessively wet or moist for at least one week after placing; and
- d. Curing shall begin as soon as concrete has attained initial set.

D. MASONRY WORKS

1. SCOPE

- 1.1 The Pakyaw Group shall provide all the corresponding labor to complete the masonry works required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.

- 1.2 See drawing for location and extent of work required.

2. MIXES

2.1 MORTAR: 1 part - Portland Cement
2 parts - Sand

2.2 FILLER: 1 part - Portland Cement
2 parts - Sand
4 parts - Gravel

3. EXECUTION

- 3.1 Lay all masonry units plumbed, true to line, leveled and accurately spaced. Bed must be solid each course on mortars;
- 3.2 Wedge tight with mortar all units. Fill all holes with concrete filler; and
- 3.3 Refer to drawings for placement of reinforcing bars.

E. REBARS AND STEEL WORKS

1. SCOPE

- 1.1 The Pakyaw Group shall provide all the corresponding labor to complete the installation of rebars and steel required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.
and
- 1.2 Refer to drawing for location and extent of work required.

2. All materials shall be welded and protected from rusting.

F. PLASTERING WORKS

1. SCOPE

The Pakyaw group shall provide all the corresponding labor to complete the plastering works required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.

- a. Work includes all plastering works for the walls, beams, and columns.
- b. See drawings for extent, location of work and other requirement.

2. MIXTURE :

1 part	-	Portland Cement
2 parts	-	Sand

3. EXECUTION

- a. Clean all surfaces and remove projections, dust, and loose particles and other materials that would prevent good bonding of plaster;
- b. Wet thoroughly all surfaces before plastering;
- c. Plastering shall have an average thickness of 16 millimeter; and
- d. Finish plastering with plain cement using paper finish.

G. ROOF FRAMING WORKS

1. SCOPE

- 1.1 The Pakyaw Group shall provide all the corresponding labor to complete the installation of roof framing required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.
- 1.2 Refer to drawing for location and extent of work required.

2. All materials shall be welded and protected from rusting.

H. TINSMITHRY WORKS

1. SCOPE

- 1.1 The Pakyaw Group shall furnish labor required to complete the thermal and moisture control (roofing works) as indicated in the drawings and as specified herein.

I. CEILING WORKS

1. SCOPE

- 1.1 The Pakyaw Group shall provide all the corresponding labor to complete the ceiling works required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed. And
2. Refer to drawing for location and extent of work required.

J. PAINTING WORKS

1. SCOPE

- 1.1 The Pakyaw Group shall provide all the corresponding labor to complete the painting works required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.

1.2 COLUMN AND BEAM PAINT

Apply two (2) coats of flat latex paint as primer and skim coat to provide even finish and finish with two (2) coats of gloss latex paint (color as per PPMC approval) for all masonry and concrete surfaces and on other areas as may be directed.

Strictly follow manufacturer's specification and procedure in all application, surface preparation of paints.

1.3 CEILING PAINT

Apply two (2) coats of flat latex paint as primer and skim coat to provide even finish and finish with two (2) coats of flat latex paint (color as per PPMC approval) for all ceiling surfaces and on other areas as may be directed.

Strictly follow manufacturer's specification and procedure in all application, surface preparation of paints.

1.4 STEEL/ METAL PAINT

Apply two (2) coats of red oxide paint as primer and finish with two (2) coats QDE as per PPMC approval for all steel/ metal surfaces and on other areas specified in the plans.

Strictly follow manufacturer's specification and procedure in all application, surface preparation of paints.

K. TILEWORKS

1. SCOPE

1.1 The Pakyaw Group shall provide all the corresponding labor to complete the tile works required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.

1.2 See drawings and details for location and extent of work required.

L. FORMWORKS AND SCAFFOLDS

1. SCOPE

1.1 The Pakyaw Group shall provide all the corresponding labor to complete the installation of formworks and scaffolds required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.

1.2 See drawings and details for location and extent of work required.

M. DOORS

1. DOORS

1.1 SCOPE

The Pakyaw group shall provide the corresponding labor required to complete the installation of doors indicated in the drawings and as specified herein.

1.2 Wood panel doors for offices and PVC door with louvers for the comfort rooms.

N. PLUMBING WORKS (SEWER LINE), SANITARY WORK (DRAINAGE LINE) AND WATER LINE

INTENT: It is not intended that the drawings shall show every pipe, fitting, valve and appliances. All such items, whether specifically mentioned or not, or indicated on the drawings, shall be installed if necessary to complete the system in accordance with the best practice of plumbing trade.

1. PLUMBING

1.1. The Pakyaw Group shall provide the corresponding labor required to complete the plumbing (sewer line), sanitary work (drainage line) and water line works as indicated in the drawings and as specified herein.

1.2. INSTALLATION

Installation of plumbing (sewer line), sanitary work (drainage line) and water line.

- a. Install all plumbing fixtures, fittings and accessories in accordance with the standards of National Plumbing Code.
- b. All horizontal piping shall be properly graded at two percent (2%) or 20 mm. rise per meter run.
- c. All fixtures shall be properly vented or otherwise noted.
- d. Pipes and fittings embedded in concrete shall be checked and approved before covering.
- e. Properly connect all water and drainage pipes and fittings with Solvent cement.

DRAWINGS FOR THE CONSTRUCTION OF PPMC OFFICE/ MULTI-PURPOSE ROOMS

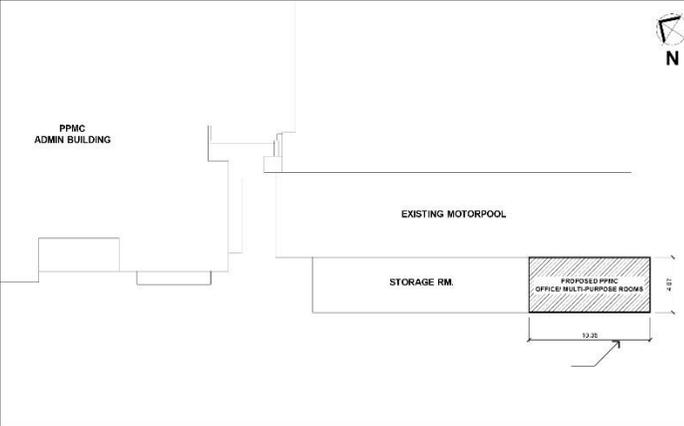
			
A 1/1 PERSPECTIVE			
			
A 2/1 VICINITY MAP	A 3/1 SITE DEVELOPMENT PLAN SCALE 1:200 METERS		
 <p>POROPPOINT MANAGEMENT CORPORATION A Member of the BCDA Group ATTY. TELIX S. MACADAO PRESIDENT & CEO</p>	<p>CONSTRUCTION OF PPMC OFFICE/MULTI-PURPOSE ROOMS</p> <p style="font-size: small;">10/04/24 PPMC POINT FREE PORT ZONE, CITY OF SAN FERNANDO, LTJ</p>	<p style="font-size: small;">10/04/24 1:07</p> <p style="font-size: small;">ARCH. MARC LAWRENCE P. AQUINO FACILITIES MANAGER</p>	<p style="font-size: small;">10/04/24 1:07 1:07</p> <p style="font-size: small;">ENGR. CERIÑA A. CORPUZ VICE PRESIDENT FOR INFRASTRUCTURE MANAGEMENT</p>
		AS SHOWN	A1

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RIGHT ELEVATION
REAR ELEVATION

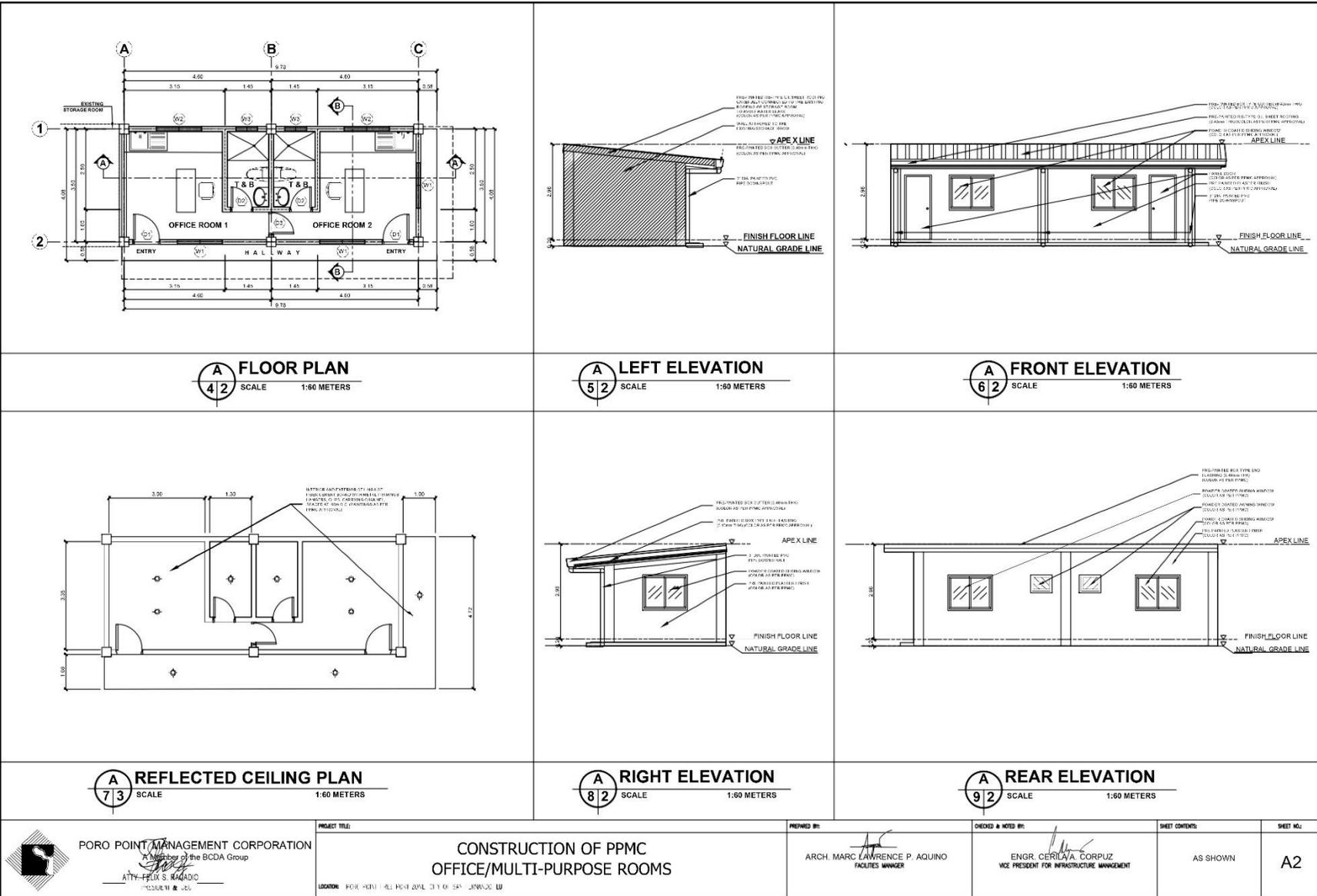
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PLUMBING LEGEND
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A
4/2
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SCALE 1:60 METERS

A
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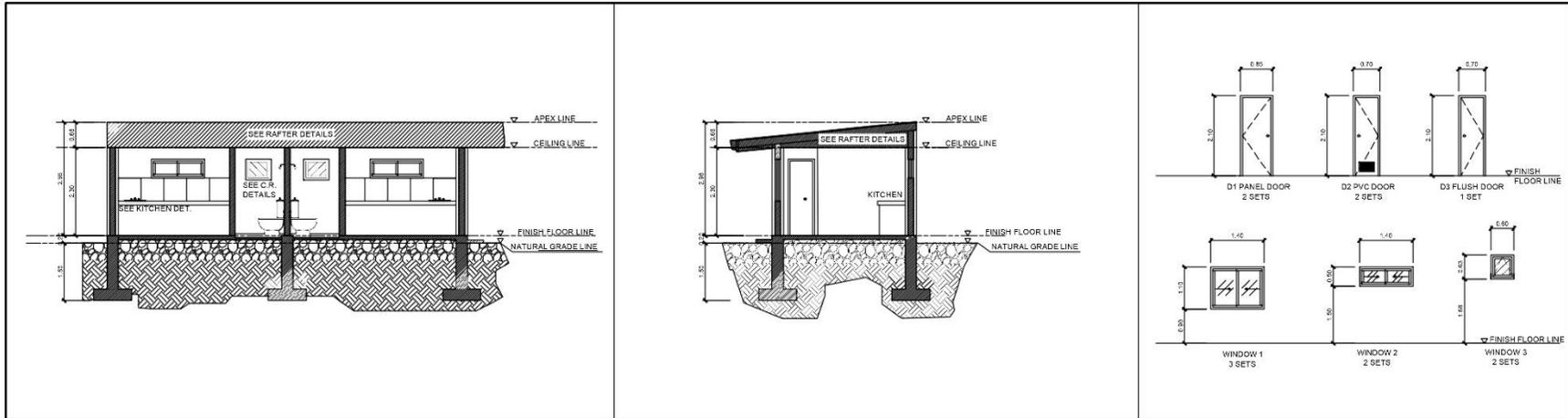
A
6/2
FRONT ELEVATION
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A
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SCALE 1:60 METERS

A
8/2
RIGHT ELEVATION
SCALE 1:60 METERS

A
9/2
REAR ELEVATION
SCALE 1:60 METERS

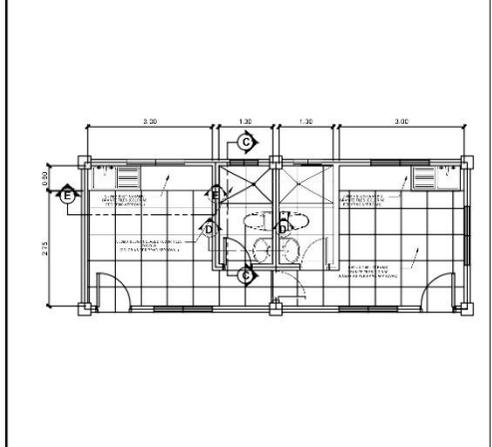
 <p>PORO POINT MANAGEMENT CORPORATION A Member of the BCDA Group ATHY FELIX S. RAJADOC REGISTERED ARCHITECT</p>	<p>PROJECT TITLE:</p> <p>CONSTRUCTION OF PPMC OFFICE/MULTI-PURPOSE ROOMS</p>	<p>PREPARED BY:</p> <p>ARCH. MARC LAWRENCE P. AQUINO FACILITIES MANAGER</p>	<p>CHECKED & NOTED BY:</p> <p>ENGR. CERILWA CORPUZ VICE PRESIDENT FOR INFRASTRUCTURE MANAGEMENT</p>	<p>SHEET CONTENTS:</p> <p>AS SHOWN</p>	<p>SHEET NO.:</p> <p>A2</p>
	<p>LOCATION: PORO POINT HILL HIGH ZONE 317 OF SAN JUAN DEL MONTE</p>				



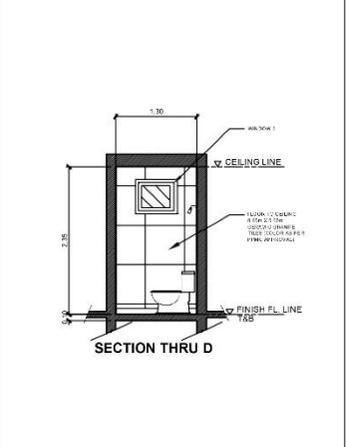
A SECTION THRU "A-A"
 10/3 SCALE 1:60 METERS

A SECTION THRU "B-B"
 11/3 SCALE 1:60 METERS

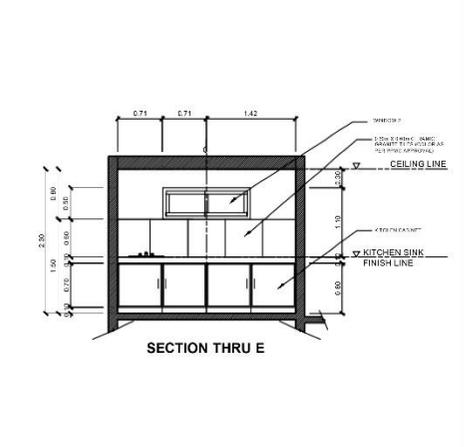
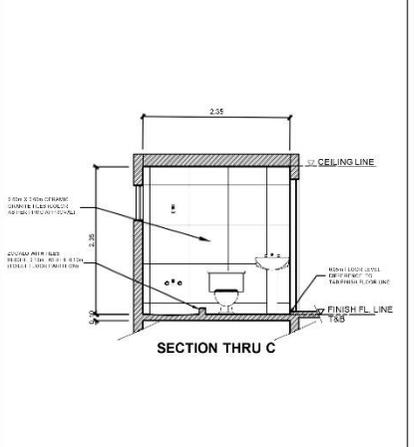
A DOORS AND WINDOWS SCHEDULE
 12/3 SCALE 1:60 METERS



A FINISHING DETAILS
 13/3 SCALE 1:60 METERS

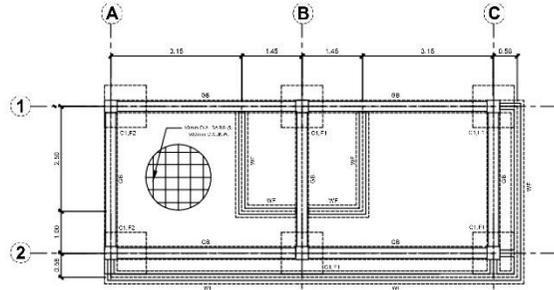


A TOILET AND BATH DETAILS
 14/3 SCALE 1:40 METERS

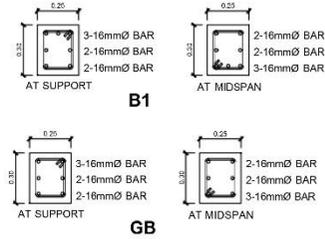


A KITCHEN DETAILS
 15/3 SCALE 1:40 METERS

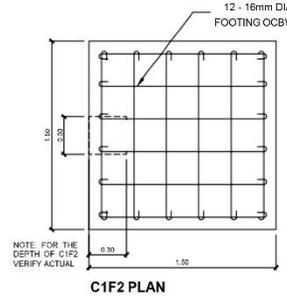
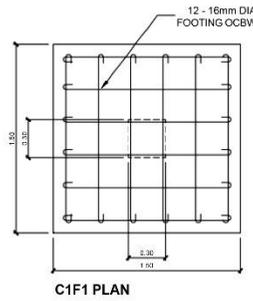
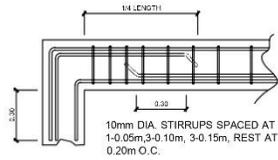
<p>PORO POINT MANAGEMENT CORPORATION A Member of the BCDA Group ATTY. PELIX S. RAJADIO RESIDENT # 305</p>	<p>PROJECT TITLE:</p> <p align="center">CONSTRUCTION OF PPMO OFFICE/MULTI-PURPOSE ROOMS</p> <p>LOCATION: PORO POINT HILL HIGH ZONE 317 OF SAN JUAN, ILO ILO</p>	<p>PREPARED BY:</p> <p align="center">ARCH. MARC LAWRENCE P. AQUINO FACILITIES MANAGER</p>	<p>CHECKED & NOTED BY:</p> <p align="center">ENGR. CERILA A. CORPUZ VICE PRESIDENT FOR INFRASTRUCTURE MANAGEMENT</p>	<p>SHEET CONTENTS:</p> <p align="center">AS SHOWN</p>	<p>SHEET NO.:</p> <p align="center">A3</p>
	<p>DATE: 10/11/2024</p>				



S FOUNDATION PLAN
 1/1 SCALE
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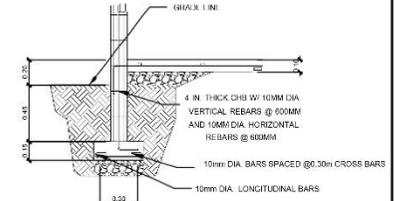
S BEAM DETAILS
 2/1 SCALE
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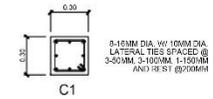
NOTE: FOR THE DEPTH OF C1F2 VERIFY ACTUAL

C1F1 PLAN

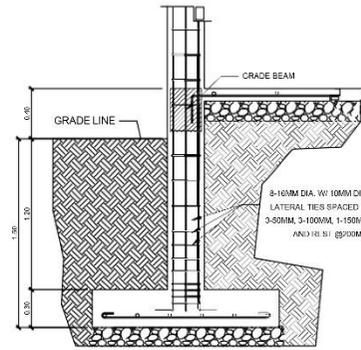
C1F2 PLAN



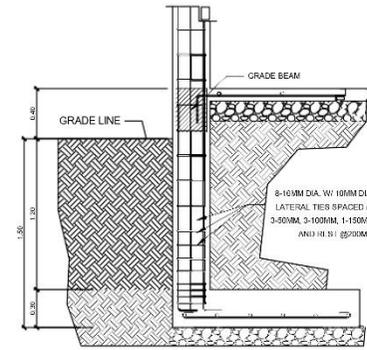
WALL FOOTING



C1



C1F1 DETAILS



C1F2 DETAILS

S COLUMN FOOTING DETAILS
 1/1 SCALE
 1:20 METERS

PORO POINT MANAGEMENT CORPORATION
 A member of the BCDA Group
 ATHY-PELIK S. RALOG
 PRESIDENT

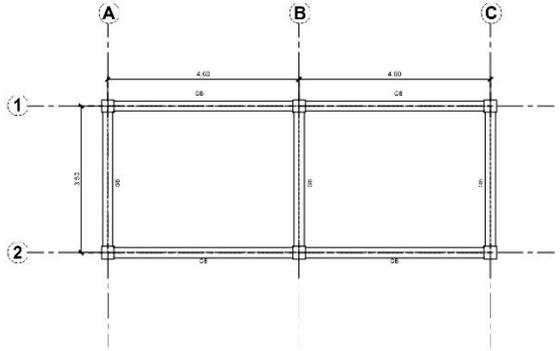
CONSTRUCTION OF PPMC OFFICE/MULTI-PURPOSE ROOMS
 PROJECT TITLE:
 LOCATION: PPOK POINT - ALL-PURPOSE ZONAL CITY OF SAN JUAN, PUNAO, LU

PREPARED BY:
 ARCH. MARC LAWRENCE P. AQUINO
 FACILITIES MANAGER

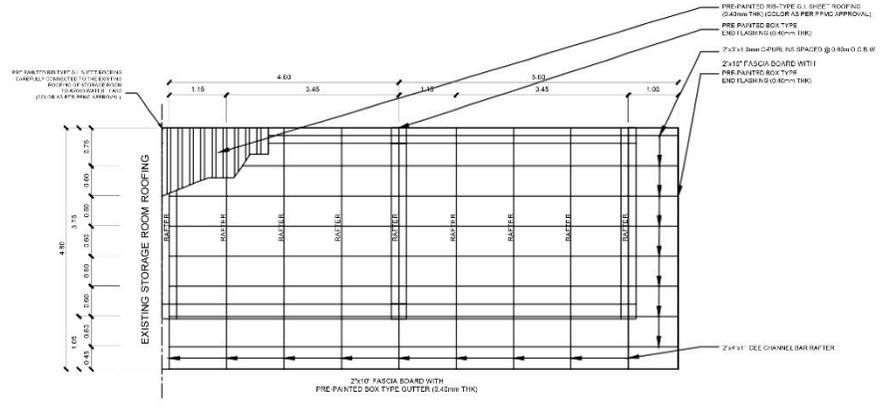
CHECKED & NOTED BY:
 ENGR. CERILIA A. CORPUZ
 VICE PRESIDENT FOR INFRASTRUCTURE MANAGEMENT

SHEET CONTENTS:
 AS SHOWN

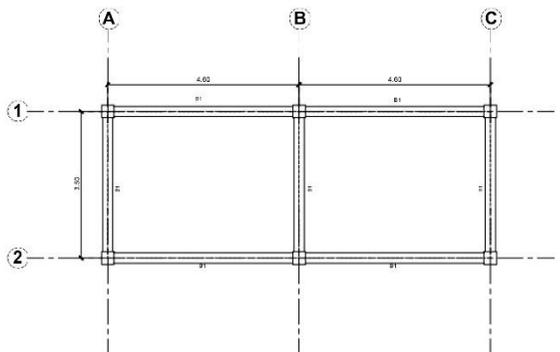
SHEET NO.:
 S1



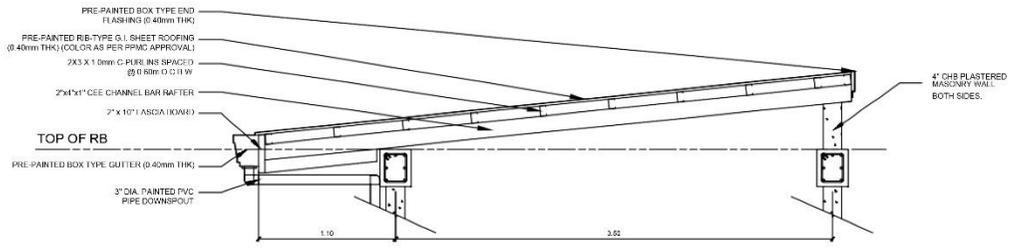
S
4/2
GRADE BEAM PLAN
SCALE 1:80 METERS



S
6/2
ROOF FRAMING PLAN
SCALE 1:50 METERS

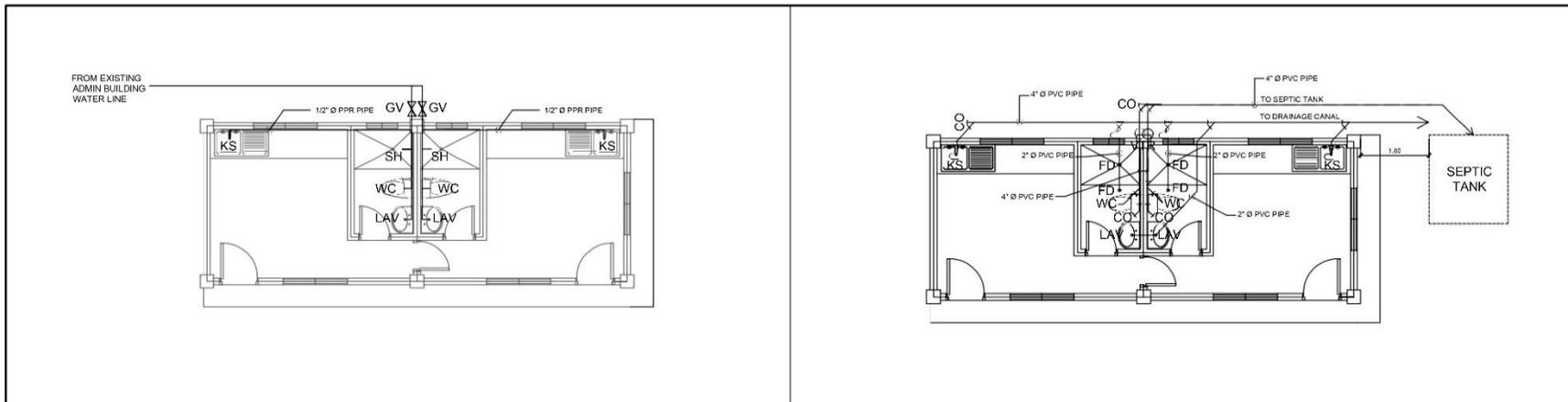


S
5/2
ROOF BEAM PLAN
SCALE 1:80 METERS



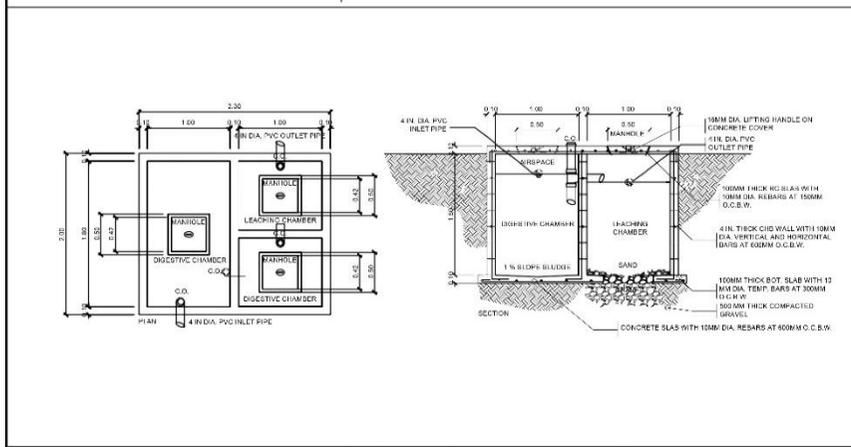
S
7/2
ROOF DETAILS
SCALE 1:20 METERS

<p>POROPPOINT MANAGEMENT CORPORATION A Member of the BCDA Group MTC PLIX S. R. C. INC. RESIDENT # 305</p>	<p>PROJECT TITLE:</p> <p align="center">CONSTRUCTION OF PPMC OFFICE/MULTI-PURPOSE ROOMS</p> <p>LOCATION: PPMC (PWA) - HILL HIGHWAY, ZONE 317 OF SAN JUAN, LGU</p>	<p>PREPARED BY:</p> <p align="center"><i>AP</i> ARCH. MARC LAWRENCE P. AQUINO FACILITIES MANAGER</p>	<p>CHECKED & NOTED BY:</p> <p align="center"><i>EC</i> ENGR. CERILA A. CORPUZ VICE PRESIDENT FOR INFRASTRUCTURE MANAGEMENT</p>	<p>SHEET CONTENTS:</p> <p align="center">AS SHOWN</p>	<p>SHEET NO.:</p> <p align="center">S2</p>
	<p>DATE: 2024-10-10</p>				

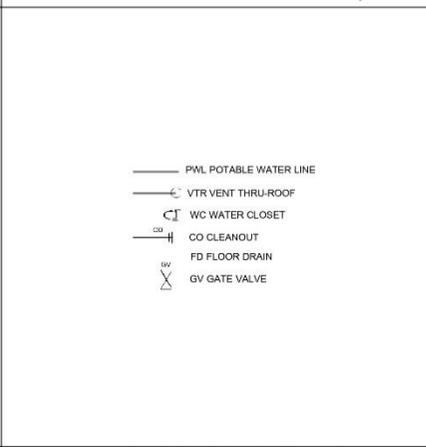


P 1/1 WATER LAYOUT
SCALE 1:50 METERS

E 2/1 SEWER LAYOUT
SCALE 1:50 METERS



P 3/1 SEPTIC TANK DETAILS
SCALE 1:30 METERS



E 4/1 PLUMBING LEGEND
N/S

1. ALL PLUMBING WORKS INCLUDED HEREIN SHALL BE EXECUTED ACCORDING TO THE REQUIREMENTS OF THE PHILIPPINE PLUMBING CODE.
2. COORDINATE THE DRAWING WITH OTHER RELATED DRAWINGS AND SPECIFICATIONS. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY FOUND THEREON.
3. THE PLUMBING LAYOUT IS ONLY DIAGRAMMATIC. PIPES, CLEANOUTS, AND CHECK VALVES SHALL BE CONSTRUCTED.
4. ALL SLOPE OF HORIZONTAL BRANCHES (SEWER), MAINTAIN 1% MINIMUM, UNLESS NOTED OTHERWISE.
5. AIR CLEANER: ALL INDIVIDUAL BRANCHES TO FIXTURE OR GROUP OF FIXTURES AND/OR EQUIPMENT SHALL BE PROVIDED WITH AIR CHAMBER OR GROUP OF CAPPED VERTICAL PIPE EXTENSION OF HEIGHT AS SHOWN IN THE DETAIL.
6. ALL FLOOR DRAINS SHALL BE VENTED INDIVIDUALLY.
7. ALL CLEAN OUTS SHALL BE FLEX CONNECTED TO WALL. DO NOT INSTALL FLOOR CLEAN OUT EXCEPT ALL LINES ON GRADE AND SERVICE AREAS NOT SUBJECT TO TRAFFIC.
8. ALL BRANCHES OF FIXTURE OR GROUP OF FIXTURES SHALL BE PROVIDED WITH AIR CHAMBER MADE OF CAPPED VERTICAL EXTENSION PIPE.
9. ALL UNDERBONTS OR GALVANIZED IRON PIPE SHALL BE CONTACT WITH SOIL SHALL BE PROVIDED WITH TWO (2) COATS OF TAR COVERING AND WRAPPED WITH RITE-CLOTH.
10. ALL PVC TYPES SHALL BE OF APPROVED QUALITY AND POLYPROPYLENE TYPES FOR WATER DISTRIBUTION PIPES SHALL BE TYPE 20.
11. ALL PLUMBING WORKS THEREIN SHALL BE UNDER THE DIRECT SUPERVISION OF A REGISTERED MASTER PLUMBER OR A FULLY LICENSED SANITARY ENGINEER.
12. WATER METERS SHOULD BE LOCATED OUTSIDE THE PROPERTY LINE.
13. WATER SUPPLY FOR CISTERN AND SUPPLY LINE FOR THE BUILDING MUST BE LOCATED ALONG THE PERIMETER 3000 METERS HEIGHT ABOVE DRIVE WAY LEVEL WITH 3 LAYERS OF 1/2" GALVA AND BRACK CUAL TANK.
14. WATER LINE LAYOUT FOR WAREHOUSES SHALL NOT BE EMBEDDED IN SLAB. BLOCK OUTS SHALL BE PROVIDED FOR POSSIBLE DIRECTION OF PIPES.
15. ALL WATER SUPPLY LINE FOR WAREHOUSES SHALL NOT BE EMBEDDED IN SLAB. BLOCK OUTS SHALL BE PROVIDED FOR POSSIBLE DIRECTION OF PIPES.
16. ALL FINAL LOCATION OF TOILET FIXTURES SHALL BE BASED ON THE MODULAR SETTING OF 1500.
17. DOUBLE DRAINS FOR BATH TUBS.
18. BRIDGE FOR HORIZONTAL IN AND RETURN CONNECTIONS: 10 mm Ø @ 60mm SPACED @ 1000.
19. PVC CEMENT FOR JOINTS WITH EPOXY OUTSIDE BONDING.
20. BRICK SHALL NOT CROSS MARKET BARRIERS OR OTHER MARK AREAS.
21. ALL PIPES SHOULD BE PAINTED WITH RED LEAD OR BLACK CHAL TANK. IT SHOULD NOT BE EMBEDDED ON SLAB. SLEEVING OF PIPE IS REQUIRED ON BEAM. FOLLOW WATER LINE LAYOUT AS PER PLAN.
22. 1" - 30 mm Ø SHALL BE POLYVINYL CHLORIDE (PVC) PIPE.
23. 2" - 75 mm Ø SHALL BE POLYVINYL CHLORIDE (PVC) PIPE.
24. SEWER LINE - 100 mm Ø SHALL BE POLYVINYL CHLORIDE (PVC) PIPE, SERIES 4000.
25. MANHOLE 1100 x 1100 x 1100 mm.
26. DRAINAGE LINE - 50mm Ø BRANCH PIPE, 100 mm Ø (MAIN DRAINAGE LINE) SHALL BE POLYVINYL CHLORIDE (PVC) PIPE, 500 IS. MANUFACTURED ACCORDING TO ASTM D668.
27. 4" WATER LINE - 125 mm Ø SHALL BE POLYPROPYLENE PIPE "BIBI-PLUS", "INTEC", OR "VENBO".

E 5/1 PLUMBING NOTES
N/S

PORO POINT MANAGEMENT CORPORATION
A member of the BCDA Group
ATTY. FELIX S. RACADAO
CORSENI & CO.

CONSTRUCTION OF PPMC OFFICE/MULTI-PURPOSE ROOMS
PROJECT TITLE:
ARCH. BRYAN G. HABER
LAND AND ASSETS DEVELOPMENT ASSISTANT
LOCATION: POKO POINT - 411 POKO POINT, CITY OF SAN JOSE DEL MONTE

PREPARED BY: *BGH*
CHECKED BY: *MAA*
ARCH. MARCO LAWRENCE P. AQUINO
FACILITIES MANAGER

NOTED BY: *MAA*
ENGR. CENITA A. CORPUZ
VICE PRESIDENT FOR INFRASTRUCTURE MANAGEMENT

SHEET CONTENTS: AS SHOWN
SHEET NO.: P1

**DOCUMENTS FOR THE LABOR COST
OF IMPLEMENTING THE REPAIR
WORKS AT AIRPORT TERMINAL
BUILDING
(REHABILITATION OF GUTTER AND
TERMITE INFESTED AREAS AT PRE-
DEPARTURE AREA)**

CERTIFICATION THAT THE PAKYAW GROUP IS NOT A REGULAR LICENSED CONTRACTOR

This is to certify that the applicant for the Pakyaw (Labor) for the **Repair Works at Airport Terminal Building (Rehabilitation of Gutter and Termite Infested Areas at Pre-Departure Area)** is not a Regular License Contractor and that the Pakyaw Group was formed/withdrawn from the vicinity of the project.

IN WITNESS WHEREOF, I have hereunto set my hand this ____ day of _____, 2025 at _____, Philippines

Name and Signature of the Pakyaw Group Leader

SUBSCRIBED AND SWORN to before me this ____ day of _____ 2025 at _____, Philippines. Affiant/s is/are personally known to me and was/were identified by me through competent evidence of identity as defined in the 2004 Rules on Notarial Practice (A.M. No. 02-8-13-SC). Affiant/s exhibited to me his/her _____, with his/her photograph and signature appearing thereon, with no. _____ and his/her Community Tax Certificate No. _____ issued on _____ at _____.

Witness my hand and seal this ____ day of _____ 2025.

NAME OF NOTARY PUBLIC

Serial No. of Commission _____
Notary Public for _____ until _____
Roll of Attorneys No. _____
PTR No. _____ - _____ -

IBP No. _____ - _____ -

Doc No. _____
Page No. _____
Book No. _____
Series of 2025

THE BAC CHAIRPERSON

Poro Point Management Corporation
Bids and Awards Committee

Project Title: **Repair Works at Airport Terminal Building (Rehabilitation of Gutter and Termite Infested Areas at Pre-Departure Area)**

We, the undersigned, all legal age, Filipinos and members of Barangay _____ hereby apply to provide labor only and undertake the work described in the Plans and Specifications for the : **Repair Works at Airport Terminal Building (Rehabilitation of Gutter and Termite Infested Areas at Pre-Departure Area).**

We are a team of workers willing to undertake the work jointly under the Office for Infrastructure Management.

This will also authorize _____ who has been elected as Pakyaw Group Leader to make representations, signed documents and receive payments for and in behalf of the group.

Name of Worker	Type of Labor (Skilled/ Semi-skilled/ Unskilled)	Address of Residence	Signature

Please add rows if necessary.

Note: Pakyaw Group shall submit Community Tax Certificate/ Cedula of each worker within 3 days from receipt of the Pakyaw Agreement.

Submitted by:

Name and Signature of the Pakyaw Group Leader

FINANCIAL BID FORM

We, the undersigned, offer to provide Pakyaw (Labor) for the **Repair Works at Airport Terminal Building (Rehabilitation of Gutter and Termite Infested Areas at Pre-Departure Area)** with the following details:

Contract Name: **Repair Works at Airport Terminal Building (Rehabilitation of Gutter and Termite Infested Areas at Pre-Departure Area)**

Contract Location: Poro Point Freeport Zone, Gov. Joaquin L. Ortega Avenue, Poro point, City of San Fernando, La Union

Duration: 45 Calendar Days

Scope of Work	Estimated Quantity	Unit	Unit Price	Total
Removal of existing inside gutters, fascia boards and termite infested wood frames	121	L.m.		
Fabrication and Welding works of inside gutter and fascia supports	121	L.m.		
Installation of new inside gutter and fascia boards	121	L.m.		
Fabrication of drywall	10	Sq.m.		
Painting works (metal works and drywall)	20	Sq.m.		
TOTAL AMOUNT OF BID (in Figures)				

TOTAL AMOUNT OF BIDS IN WORDS

The prices for the above-described work are indicated above. I/we agree to the conditions and period of time of completion of work as stated above.

Name and Signature of the Pakyaw Group Leader

**SPECIFICATIONS FOR THE REPAIR WORKS AT AIRPORT TERMINAL BUILDING
(REHABILITATION OF GUTTER AND TERMITE INFESTED AREAS AT PRE-
DEPARTURE AREA)**

GENERAL PROVISIONS

The works to be executed under this contract covers the Repair Works at Airport Terminal Building (Rehabilitation of gutter and termite infested areas at Pre Departure Area). The Pakyaw Group shall provide all the necessary corresponding labor to complete the work required by the plans and specifications. This specification sets out the basic standard and quality of workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.

A. REMOVAL WORKS

1. SCOPE

- 1.1 The Pakyaw Group shall provide all the corresponding labor to complete the removal of existing inside gutters, fascia boards and termite infested wood frames required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.
- 1.2 Refer to drawing for location and extent of work required.

B. GUTTER FRAMING WORKS

1. SCOPE

- 1.1 The Pakyaw Group shall provide all the corresponding labor to complete the installation of gutter framing required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.
 - 1.2 Refer to drawing for location and extent of work required.
2. All materials shall be welded and protected from rusting.

C. DRY WALL FABRICATION

1. SCOPE

- 1.1 The Pakyaw Group shall provide all the corresponding labor to complete the fabrication and installation of dry wall required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.
- 1.2 Refer to drawing for location and extent of work required.

D. PAINTING WORKS

1. SCOPE

1.1 The Pakyaw Group shall provide all the corresponding labor to complete the painting works required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.

1.2 DRY WALL PAINT

Apply two (2) coats of flat latex paint as primer and skim coat to provide even finish and finish with two (2) coats of flat latex paint (color as per PPMC approval) for all dry wall surfaces and on other areas as may be directed.

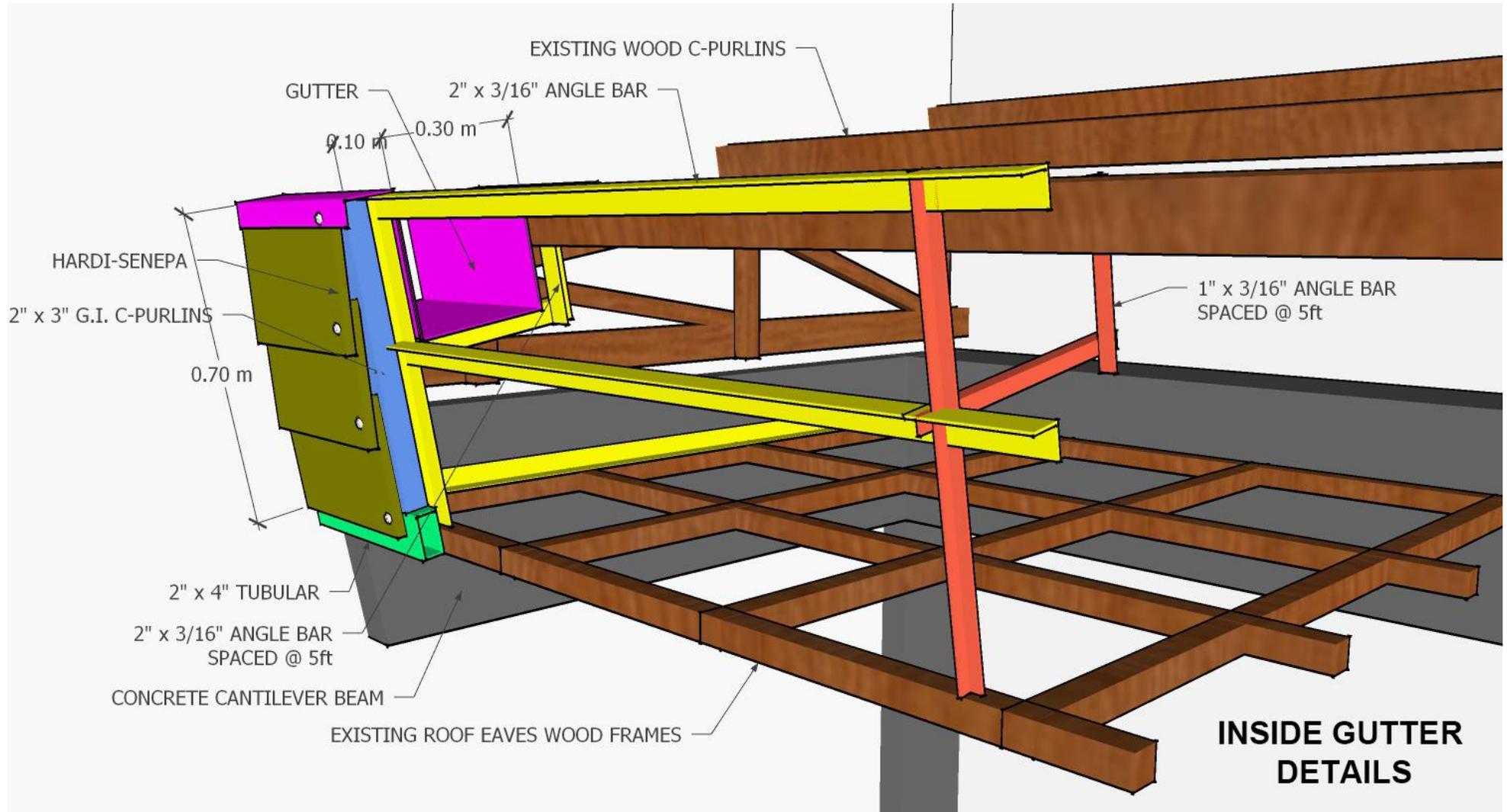
Strictly follow manufacturer's specification and procedure in all application, surface preparation of paints.

1.3 STEEL/ METAL PAINT

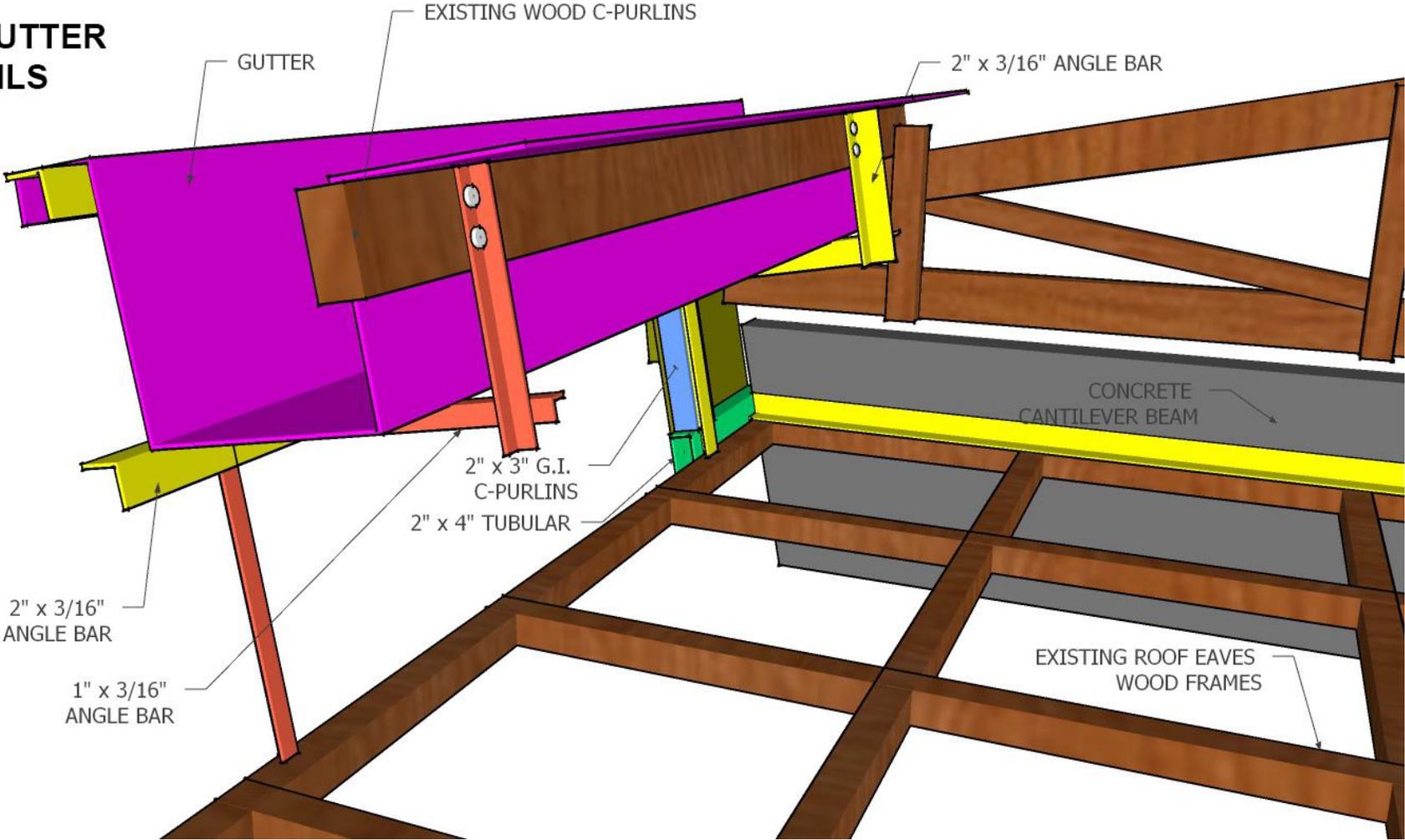
Apply two (2) coats of red oxide paint as primer and finish with two (2) coats QDE as per PPMC approval for all steel/ metal surfaces and on other areas specified in the plans.

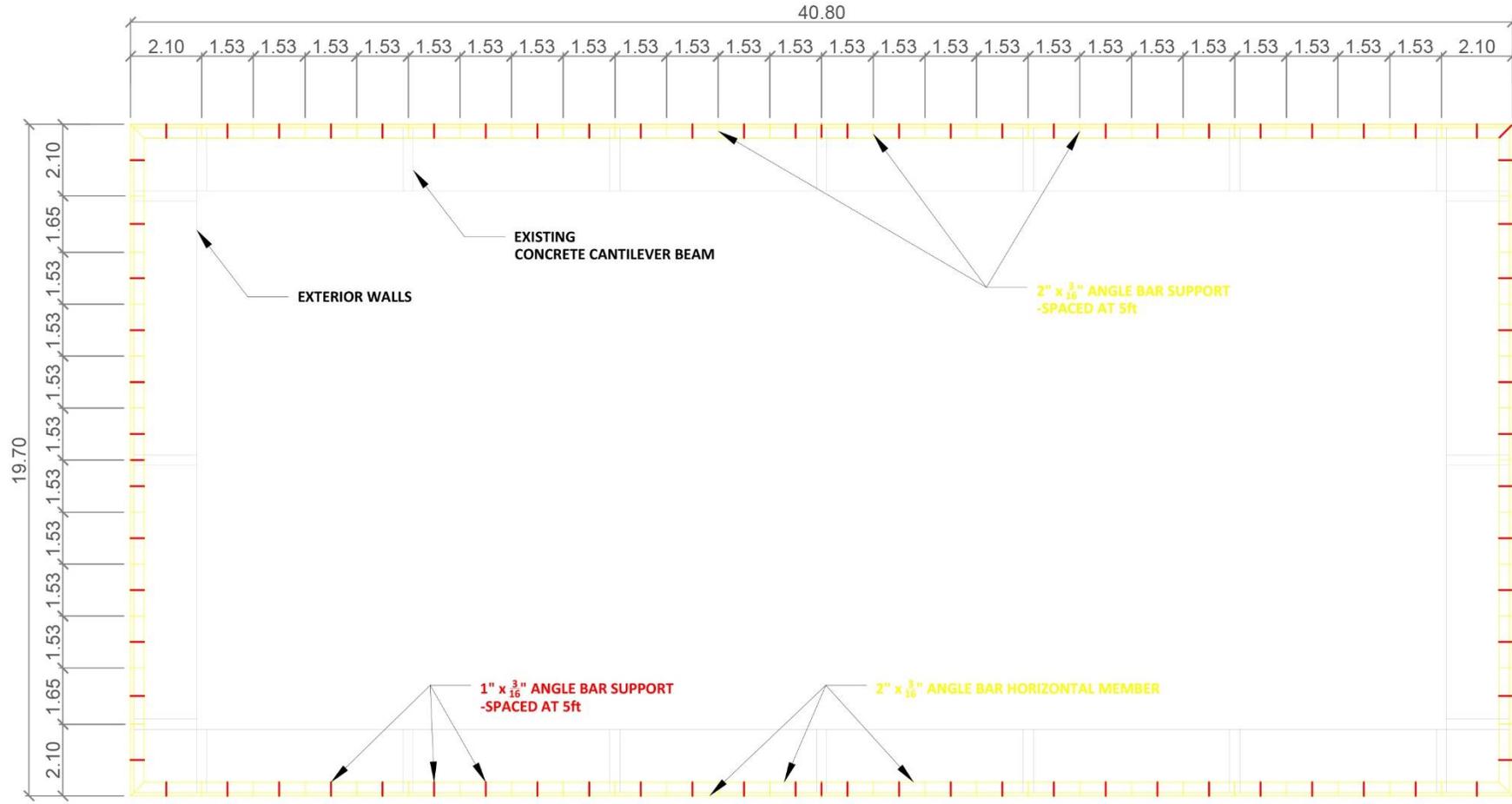
Strictly follow manufacturer's specification and procedure in all application, surface preparation of paints.

DRAWINGS FOR THE REPAIR WORKS AT AIRPORT TERMINAL BUILDING (REHABILITATION OF GUTTER AND TERMITE INFESTED AREAS AT PRE-DEPARTURE AREA)

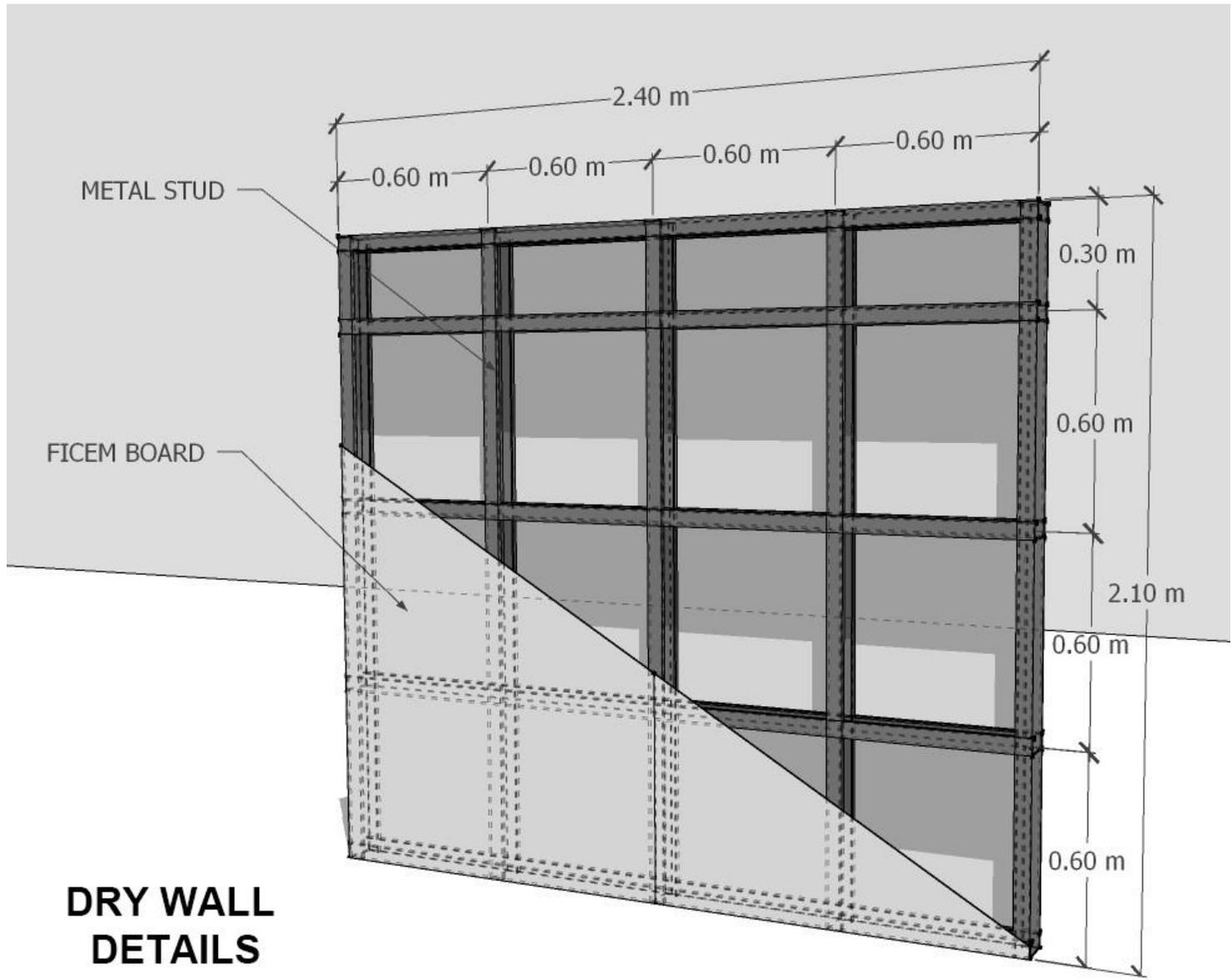


INSIDE GUTTER DETAILS





ANGLE BAR LAYOUT



DRY WALL DETAILS

**DOCUMENTS FOR THE LABOR COST
OF IMPLEMENTING THE
MISCELLANEOUS REPAIR/
MAINTENANCE WORKS AT THE PORO
POINT COTTAGE**

CERTIFICATION THAT THE PAKYAW GROUP IS NOT A REGULAR LICENSED CONTRACTOR

This is to certify that the applicant for the Pakyaw (Labor) for the **Miscellaneous Repair/ Maintenance Works at the Poro Point Cottage** is not a Regular License Contractor and that the Pakyaw Group was formed/withdrawn from the vicinity of the project.

IN WITNESS WHEREOF, I have hereunto set my hand this ____ day of _____, 2025 at _____, Philippines

Name and Signature of the Pakyaw Group Leader

SUBSCRIBED AND SWORN to before me this ____ day of _____ 2025 at _____, Philippines. Affiant/s is/are personally known to me and was/were identified by me through competent evidence of identity as defined in the 2004 Rules on Notarial Practice (A.M. No. 02-8-13-SC). Affiant/s exhibited to me his/her _____, with his/her photograph and signature appearing thereon, with no. _____ and his/her Community Tax Certificate No. _____ issued on _____ at _____.

Witness my hand and seal this ____ day of _____ 2025.

NAME OF NOTARY PUBLIC

Serial No. of Commission _____
Notary Public for _____ until _____
Roll of Attorneys No. _____
PTR No. _____ - _____

IBP No. _____ - _____

Doc No. _____
Page No. _____
Book No. _____
Series of 2025

THE BAC CHAIRPERSON

Poro Point Management Corporation
 Bids and Awards Committee

Project Title: **Miscellaneous Repair/ Maintenance Works at the Poro Point Cottage**

We, the undersigned, all legal age, Filipinos and members of Barangay _____ hereby apply to provide labor only and undertake the work described in the Plans and Specifications for the : **Miscellaneous Repair/ Maintenance Works at the Poro Point Cottage.**

We are a team of workers willing to undertake the work jointly under the Office for Infrastructure Management.

This will also authorize _____ who has been elected as Pakyaw Group Leader to make representations, signed documents and receive payments for and in behalf of the group.

Name of Worker	Type of Labor (Skilled/ Semi-skilled/ Unskilled)	Address of Residence	Signature

Please add rows if necessary.

Note: Pakyaw Group shall submit Community Tax Certificate/ Cedula of each worker within 3 days from receipt of the Pakyaw Agreement.

Submitted by:

Name and Signature of the Pakyaw Group Leader

FINANCIAL BID FORM

We, the undersigned, offer to provide Pakyaw (Labor) for the **Miscellaneous Repair/ Maintenance Works at the Poro Point Cottage** with the following details:

Contract Name: **Miscellaneous Repair/ Maintenance Works at the Poro Point Cottage**

Contract Location: Poro Point Freeport Zone, Gov. Joaquin L. Ortega Avenue, Poro point, City of San Fernando, La Union

Duration: 25 Calendar Days

Scope of Work	Estimated Quantity	Unit	Unit Price	Total
Site Works	36	Sq.m.		
Removal of existing flashing, gutter and concrete curb.	25	L.m.		
Excavation for footing, pedestal & concrete slab	3	Cu.m.		
Concrete Pouring of footing, pedestal & concrete slab	5.6	Cu.m.		
Rebars and steel works	100	Kgs.		
Roof framing fabrication	184.8	Kgs.		
Installation of roofing	34.2	Sq.m.		
Painting works of columns, beams, truss and roofing (existing and new)	1	Lot		
TOTAL AMOUNT OF BID (in Figures)				

TOTAL AMOUNT OF BIDS IN WORDS

The prices for the above-described work are indicated above. I/we agree to the conditions and period of time of completion of work as stated above.

Name and Signature of the Pakyaw Group Leader

SPECIFICATIONS FOR THE MISCELLANEOUS REPAIR/ MAINTENANCE WORKS AT THE PORO POINT COTTAGE

GENERAL PROVISIONS

The works to be executed under this contract covers the Miscellaneous Repair/ Maintenance Works at the Poro Point Cottage. The Pakyaw Group shall provide all the necessary corresponding labor to complete the work required by the plans and specifications. This specification sets out the basic standard and quality of workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.

A. SITE WORKS

2. SITE PREPARATION

The Pakyaw Group shall take all necessary steps during site preparation, clearing to protect adjoining structures, footpath, etc. Site clearing shall be carried out in such a manner as to cause a little inconvenience as possible to public and to safeguard the public safety at all times. Clear site for all debris and haul out before construction. It is the responsibility of the Pakyaw Group to haul debris materials out of the site and transfer it to a suitable location. Gridlines shall be plotted on site and staking should be done under the supervision of the PPMC Representative.

B. EARTHWORKS, EXCAVATION AND FILLS

3. SCOPE

1.3 Pakyaw Group shall perform labor to complete the earthworks, excavation and fills (backfilling to site grading).

1.2 See drawing for location and extent of work required.

4. BACKFILLING AND GRADING

2.2 When the concrete work is hard enough to resist pressure resulting from fill, the materials from excavation shall be used for backfilling around them. This filling shall be placed in layers not exceeding six (6) inches in thickness, each layer being thoroughly compacted by tamping or rolling until the correct grades and ninety percent (90%) compaction are reached.

C. CONCRETE WORKS

3. SCOPE

1.1 The Pakyaw Group shall provide all the corresponding labor to complete the concrete works required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.

1.2 See drawing for location and extent of work required.

2. CAST-IN-PLACE CONCRETE

2.2 DESIGN

- b. Concrete mix design shall have a minimum compressive strength of 3000 psi at 28 days; and

2.2 EXECUTION

- e. Forms and reinforcement shall be inspected, checked and approved before concrete is placed;
- f. Surface shall be thoroughly wet and grouted before concreting;
- g. Curing shall be done by keeping concrete excessively wet or moist for at least one week after placing; and
- h. Curing shall begin as soon as concrete has attained initial set.

D. REBARS AND STEEL WORKS

2. SCOPE

- 1.1 The Pakyaw Group shall provide all the corresponding labor to complete the installation of rebars and steel required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed. and
- 1.2 Refer to drawing for location and extent of work required.

- 3. All materials shall be welded and protected from rusting.

E. ROOF FRAMING WORKS

2. SCOPE

- 1.1 The Pakyaw Group shall provide all the corresponding labor to complete the installation of roof framing required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed. and
- 1.2 Refer to drawing for location and extent of work required.

- 3. All materials shall be welded and protected from rusting.

F. TINSMITHRY WORKS

2. SCOPE

- 1.1 The Pakyaw Group shall furnish labor required to complete the thermal and moisture control (roofing works) as indicated in the drawings and as specified herein.

G. PAINTING WORKS

2. SCOPE

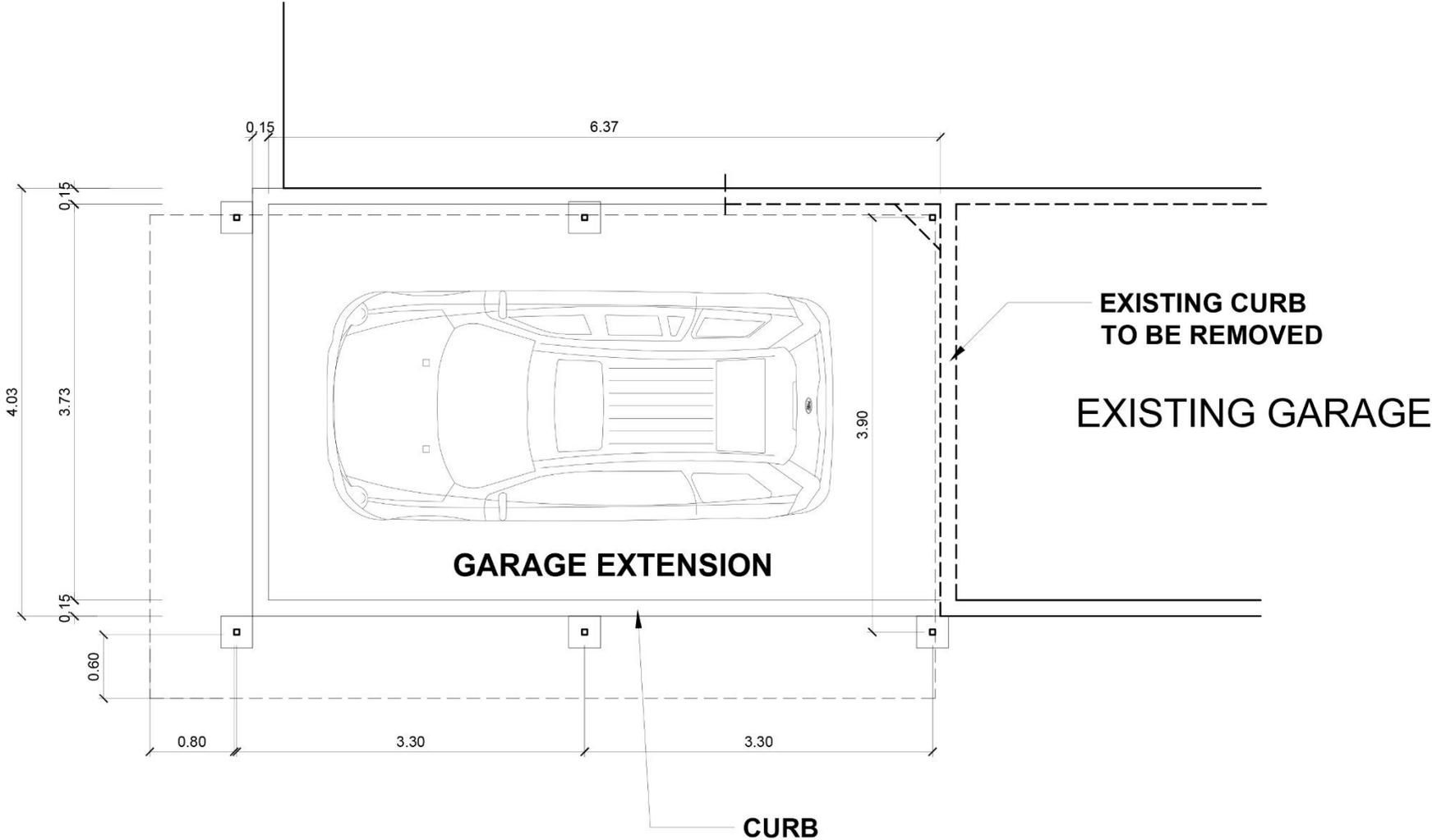
- 1.1 The Pakyaw Group shall provide all the corresponding labor to complete the painting works required by the plans and specifications. This specification sets out the basic standard and workmanship required by PPMC. The Pakyaw Group shall ensure that these requirements are strictly adhered to when carrying out the works, unless otherwise instructed.

1.2 COLUMN PEDESTAL, METAL COLUMN, METAL BEAM, ROOFING SHEETS, ROOF GUTTER AND FLASHING PAINT

Apply two (2) coats of red oxide paint as primer and finish with two (2) coats QDE as per PPMC approval for all steel/ metal surfaces and on other areas specified in the plans.

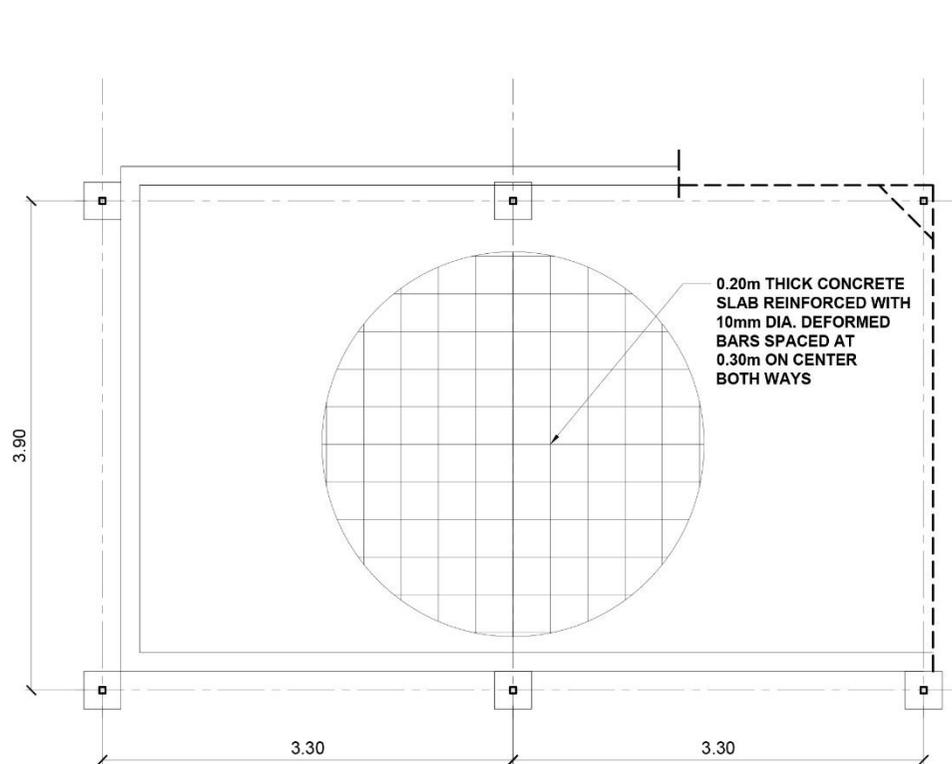
Strictly follow manufacturer's specification and procedure in all application, surface preparation of paints.

DRAWINGS FOR THE MISCELLANEOUS REPAIR/ MAINTENANCE WORKS AT THE PORO POINT COTTAGE



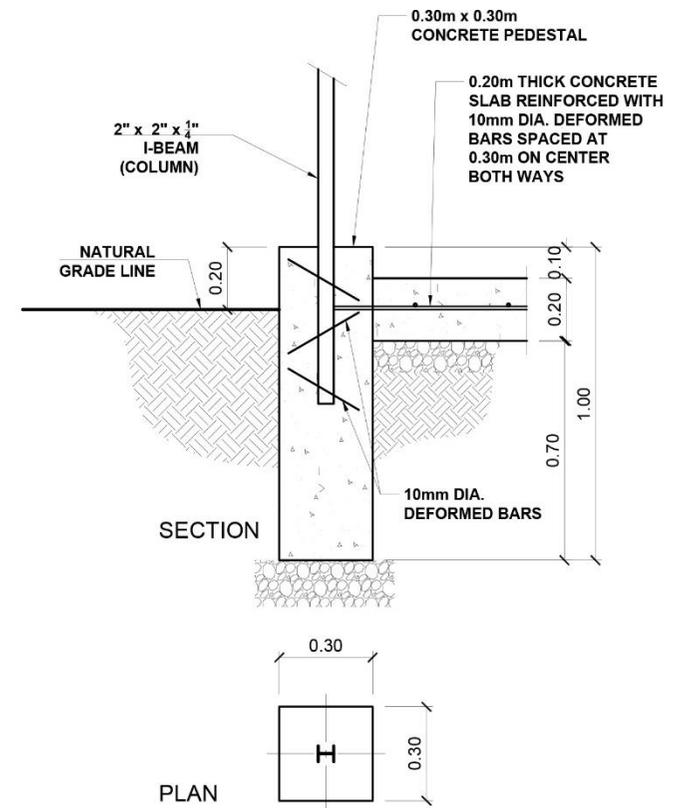
FLOOR PLAN

SCALE: 1: 50m



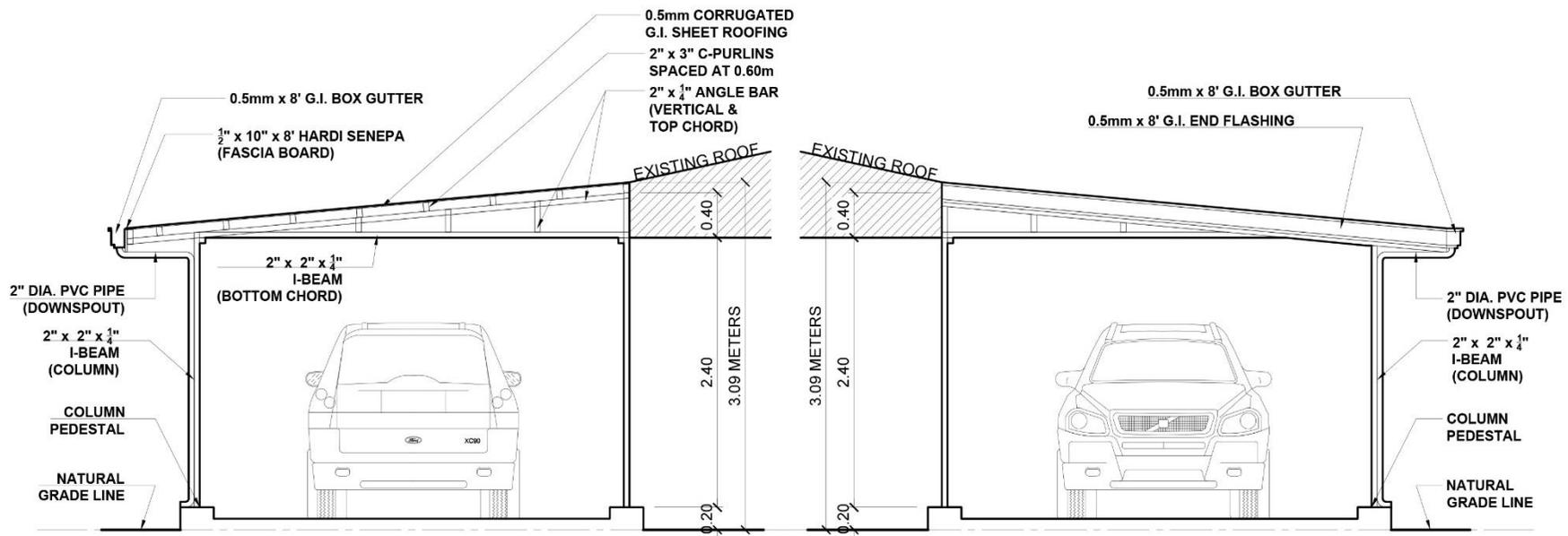
FOUNDATION PLAN

SCALE: 1: 50m



COLUMN DETAILS

SCALE: 1: 20m

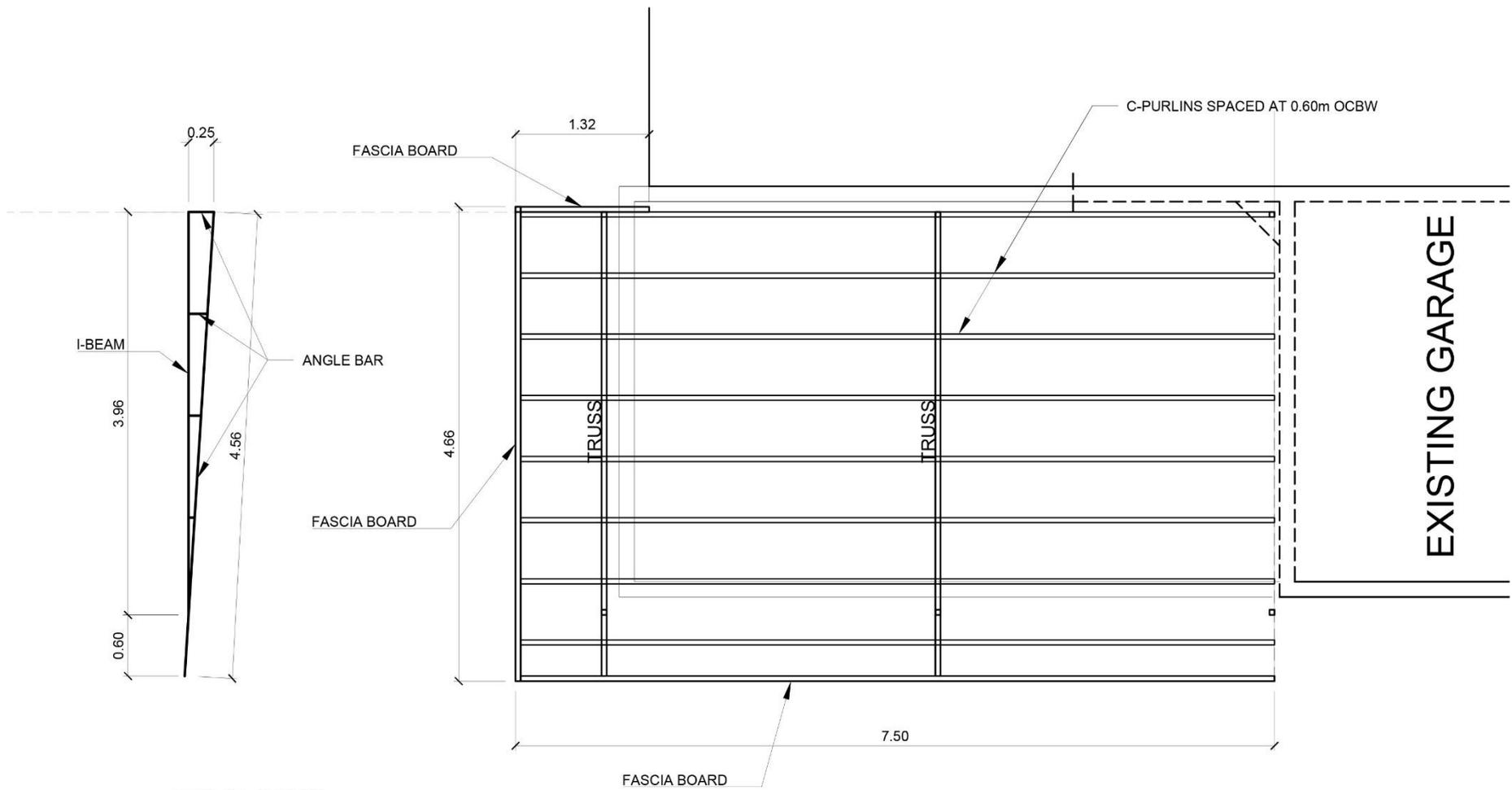


FRONT ELEVATION

SCALE: 1: 50m

REAR ELEVATION

SCALE: 1: 50m

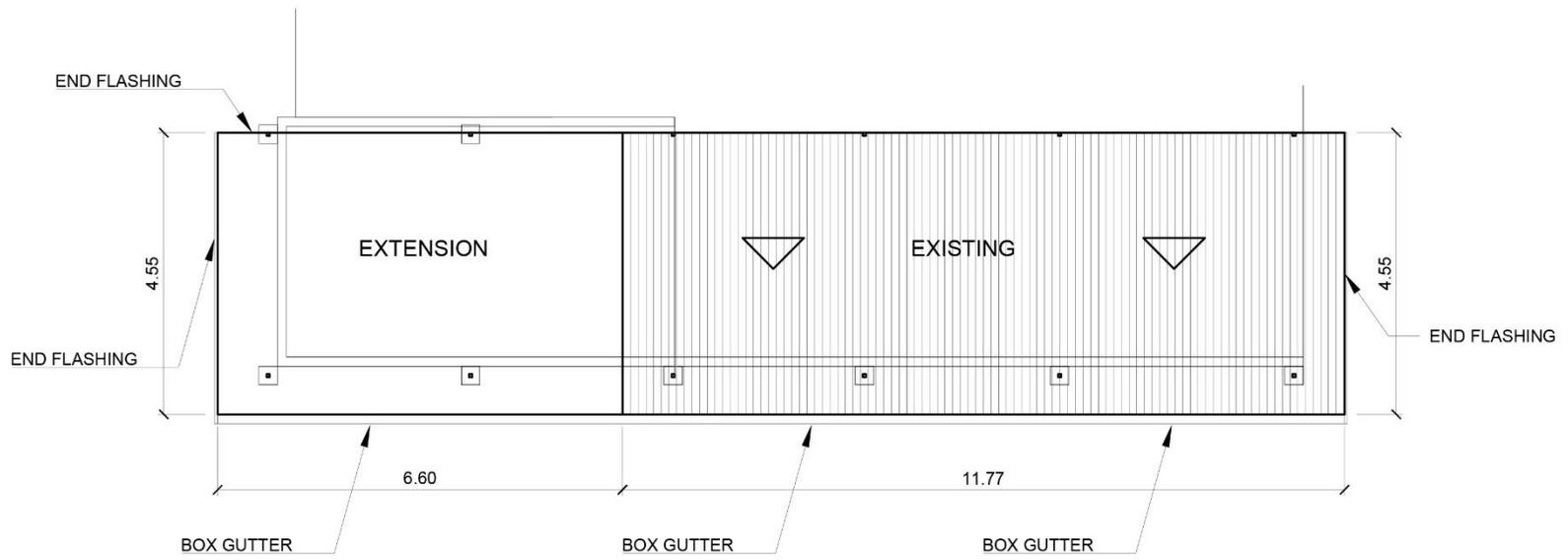


TRUSS DIAGRAM

SCALE: 1: 50m

ROOF FRAMING PLAN

SCALE: 1: 50m



ROOF PLAN

SCALE: 1: 100m